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Grangeside, Redworth, Newton Aycliffe, DL5 6NX

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Offers In Excess Of £430,000

Nestled within a tranquil cul-de-sac, this charming three-bedroom bungalow offers the perfect blend of modern living and picturesque countryside views from every aspect. Having been recently refurbished to an immaculate standard, the property boasts a fresh and inviting atmosphere, enhanced by professional decoration throughout. Improvements such as brand new light fittings, electric switch covers, light switches, electric remote controlled garage door, Ring wifi alarm system to include door camera, Hive thermostat with remote app, kitchen to garage UPVC door, high quality carpets, blinds and curtains and many more, all assist with the modern comfortable atmosphere within the property. After being lovingly transformed by the current owners, the beautifully landscaped gardens create a serene outdoor retreat, perfect for enjoying the fresh air or hosting summer barbecues. The two-tier natural stone waterfall complete with its own lighting, adds a touch of luxury to this stunning outdoor space.

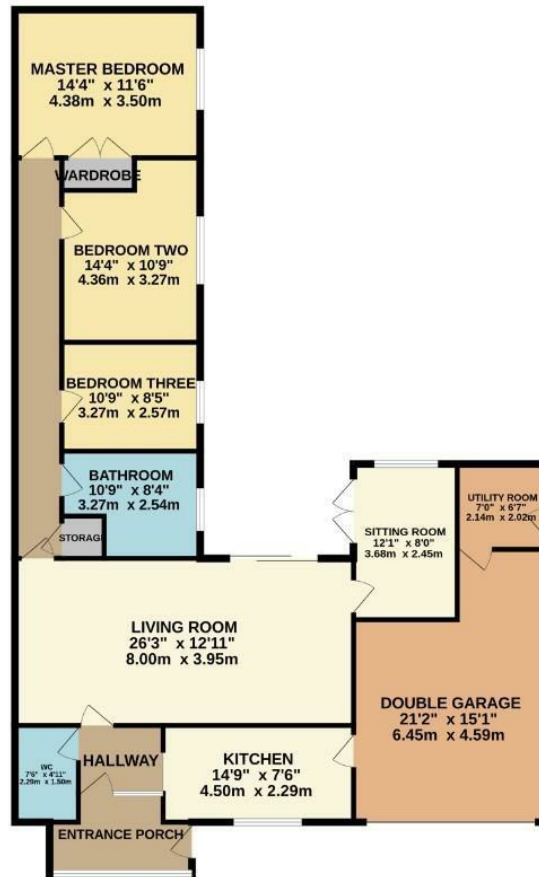
The property is situated in the highly sought after village of Redworth, making it an excellent choice for families or anyone seeking a peaceful lifestyle while still being within easy reach of local amenities such as, approx. 4 miles away, the brand new Retail Park at Tindale Crescent. Neighbouring towns provide further access links to extensive public transport systems via bus and rail whilst the A68 is close by leading to the A1(M) both North and South, ideal for commuters.

In brief, the property comprises; an entrance vestibule, hallway, kitchen, living room, additional reception room, master bedroom, two additional bedrooms with garden views, family bathroom, cloakroom and utility room. Externally the property has a lawned garden, driveway and double garage. To the rear there is a a private enclosed garden.

With its combination of modern comforts and idyllic countryside surroundings, this bungalow is the perfect opportunity for any family to make a house their home.

Hunters Bishop Auckland 147-149 Newgate Street, Bishop Auckland, DL14 7EN | 01388 311582
bishopauckland@hunters.com | www.hunters.com

GROUND FLOOR
1609 sq.ft. (149.5 sq.m.) approx.



TOTAL FLOOR AREA: 1609 sq.ft. (149.5 sq.m.) approx.

Whilst every attempt has been made to ensure the accuracy of the floorplan contained here, measurements of doors, windows, rooms and any other items are approximate and no responsibility is taken for any error, omission or mis-statement. This plan is for illustrative purposes only and should be used as such by any prospective purchaser. The services, systems and appliances shown have not been tested and no guarantee as to their operability or efficiency can be given.
Made with Metropix 5/2025

Energy Efficiency Rating		
	Current	Potential
Very energy efficient - lower running costs		
(92 plus) A		
(81-91) B		
(69-80) C		
(55-68) D		
(39-54) E		
(21-38) F		
(1-20) G		
Not energy efficient - higher running costs		
		78
	57	
England & Wales		
EU Directive 2002/91/EC		

Environmental Impact (CO ₂) Rating		
	Current	Potential
Very environmentally friendly - lower CO ₂ emissions		
(92 plus) A		
(81-91) B		
(69-80) C		
(55-68) D		
(39-54) E		
(21-38) F		
(1-20) G		
Not environmentally friendly - higher CO ₂ emissions		
England & Wales		
EU Directive 2002/91/EC		

Kitchen

14'10" x 7'6"
Stylish and modern kitchen space fitted with a range of base, wall and drawer units, contrasting work surfaces, electric hob, extractor hood and oven unit. Space is available for further free standing appliances and large window to the front elevation provides plenty of natural light. Brand new UPVC door leading into the garage and LVP flooring throughout.

Living Room

26'3" x 12'11"
Bright and spacious living area set to the rear of the property. Benefiting from professionally finished neutral decor, high quality carpets and blind fittings, with ample space for living furniture, newly replaced light fittings, switches and sockets and sliding doors leading into the rear garden.

Dining Room

10'8" x 8'0"
Additional reception room to the rear elevation, currently utilised as a dining area. With space for free standing furniture, large window and French doors leading into the garden. Fitted with new light fittings and electric sockets, LVP flooring and neutral decor.

Utility Room

6'7" x 6'4"
Accessed through the garage, this utility space has been recently refurbished with a new worktop, plumbing for a washing machine and drier and additional storage space available.

Master Bedroom

14'0" x 11'5"
Large bedroom with space for a super king sized bed, located to the rear of the property. With space for further furniture, neutral decor and views from the window overlooking the landscaped gardens.

Bedroom Two

11'9" x 10'9"
Another large bedroom capable of hosting a king sized bed with space for additional furniture and large window overlooking views of the landscaped garden.

Bedroom Three

10'9" x 8'4"
A final well sized bedroom, capable of holding a king sized bed which is currently utilised as a home office. Window overlooking the landscaped garden.

Bathroom

10'9" x 8'4"
Newly refurbished bathroom with a wash hand basin, new panelled bath, WC and refurbished corner shower unit with new tray and cladding. Opaque window to the side elevation.

Cloakroom

7'6" x 4'10"
Cloakroom to the front of the property with wash hand basin and WC.

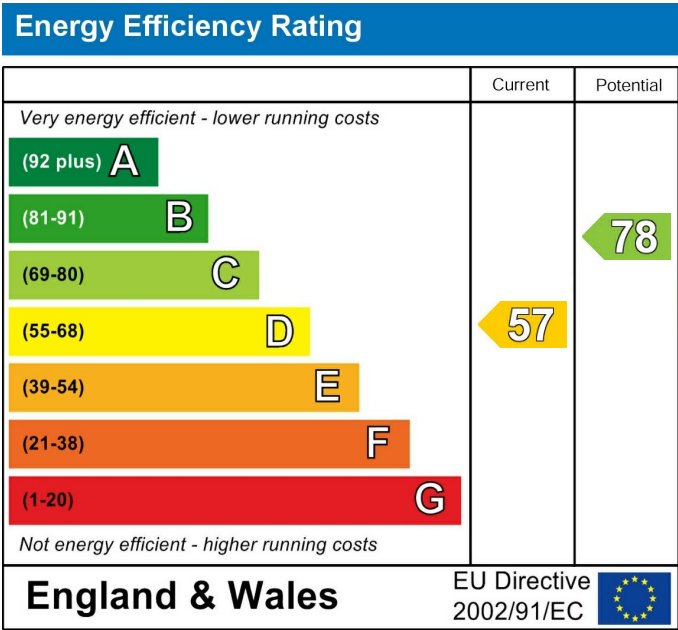
External

Externally, the property has a immaculately presented walled garden mainly laid to lawn with additional planter boxes. The double drive provides ample off street parking. There is a integrated double garage with a brand new remote controlled electric garage door, currently utilised as a secondary utility area with automatic lighting, a new 3-meter range of cupboards and worktops and carpeting. To the rear, the property hosts an amazing landscaped garden, mainly laid to lawn. Expertly taken care of, the garden boasts large patio areas for outdoor furniture, perimeter borders with well established plants and shrubbery, raised wooden decking area for additional hosting space and fantastic 2 tiered waterfall. The perimeter fencing has all been recently replaced and a large workshop is situated to the back of

the garden, fitted with multiple power outlets. There is also a brand new quality greenhouse with staging, automatic window opener and electricity supply. Security lights surround the building along with scenic outdoor lighting to the rear.

Notes

Summer garden photos are used for illustrative purposes to show the garden in the summer months.



These particulars are intended to give a fair and reliable description of the property but no responsibility for any inaccuracy or error can be accepted and do not constitute an offer or contract. We have not tested any services or appliances (including central heating if fitted) referred to in these particulars and the purchasers are advised to satisfy themselves as to the working order and condition. If a property is unoccupied at any time there may be reconnection charges for any switched off/disconnected or drained services or appliances - All measurements are approximate. If you are thinking of selling your home or just curious to discover the value of your property, Hunters would be pleased to provide free, no obligation sales and marketing advice. Even if your home is outside the area covered by our local offices we can arrange a Market Appraisal through our national network of Hunters estate agents.











